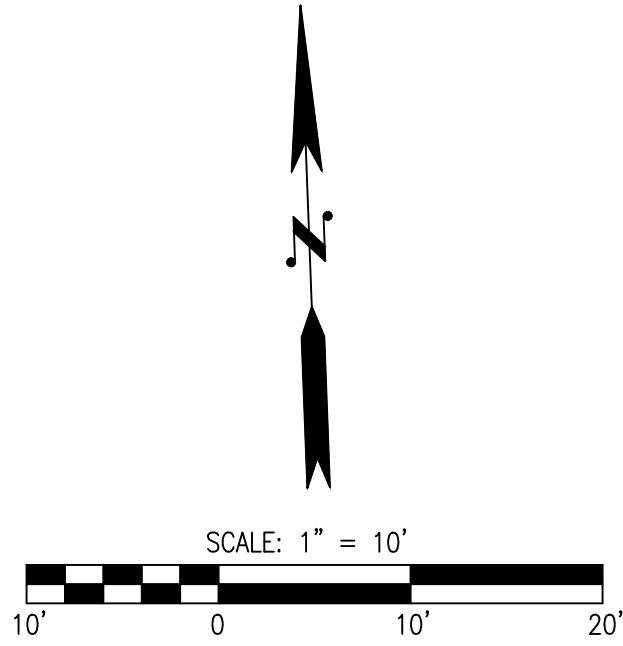
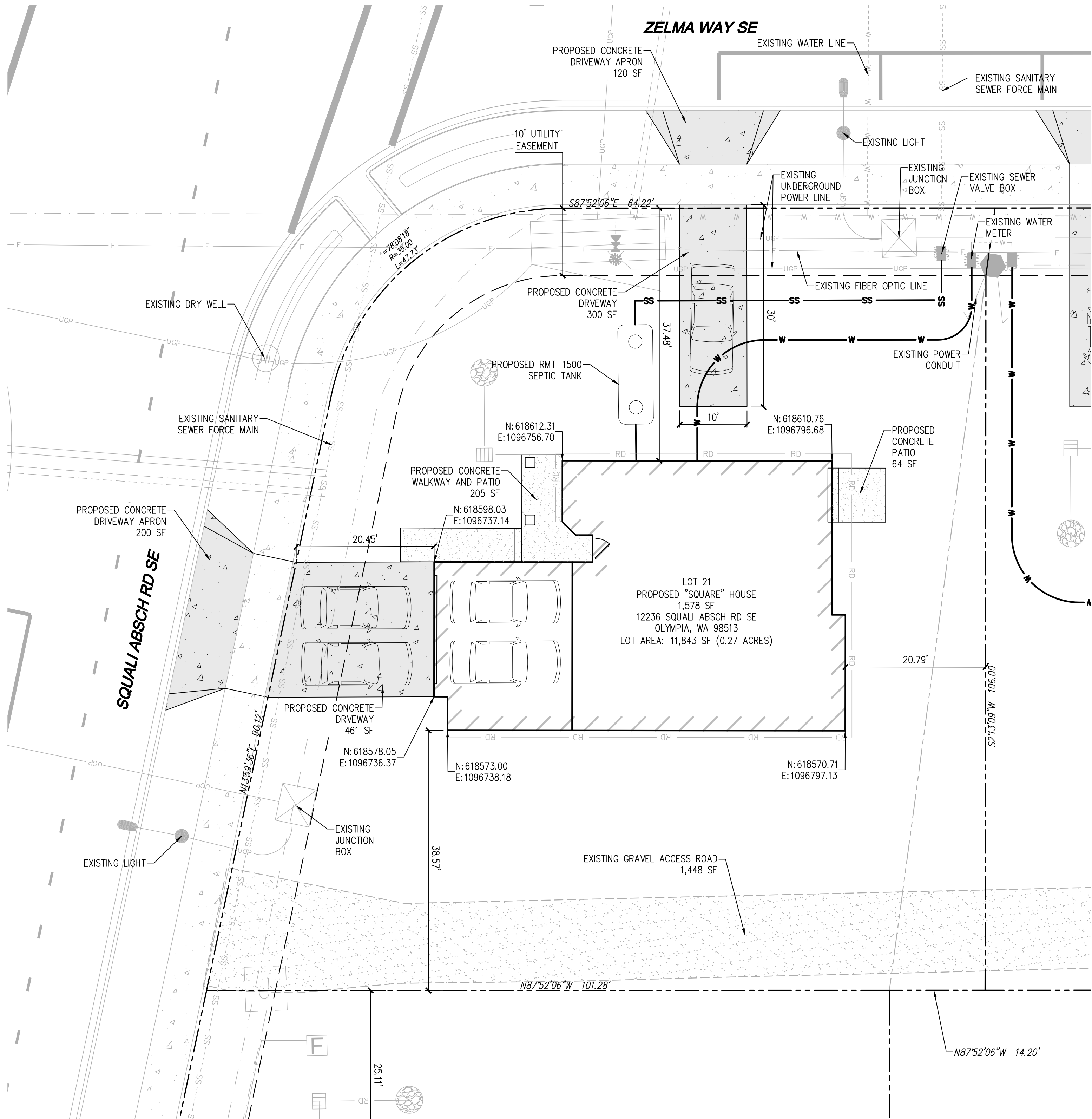


SHEET 1 OF 16



LEGEND

	LOT LINE
	R.O.W. CENTER LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED ASTM D 3034 SDR 35 PVC SANITARY SEWER LINE
	PROPOSED 1" POLY PIPE WITH TRACER WIRE
	EXISTING LIGHT POLE
	EXISTING JUNCTION BOX
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING POWER LINE
	EASEMENT
	STORM DRYWELL

CONSTRUCTION AREAS

HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	1,448 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	2,605 SF
TOTAL	4,053 SF (34.2% OF TOTAL SITE)

PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	7,790 SF
TOTAL	7,790 SF

TOTAL:	
TOTAL SITE AREA	11,843 SF (0.27 AC)
NEW HARD SURFACES	2,605 SF
EXISTING HARD SURFACES	1,448 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	7,790 SF
TOTAL DISTURBED AREA	11,843 SF (0.27 AC)
CLEARING AND GRADING LIMIT	11,843 SF

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER

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REVISIONS	
NO.	DATE

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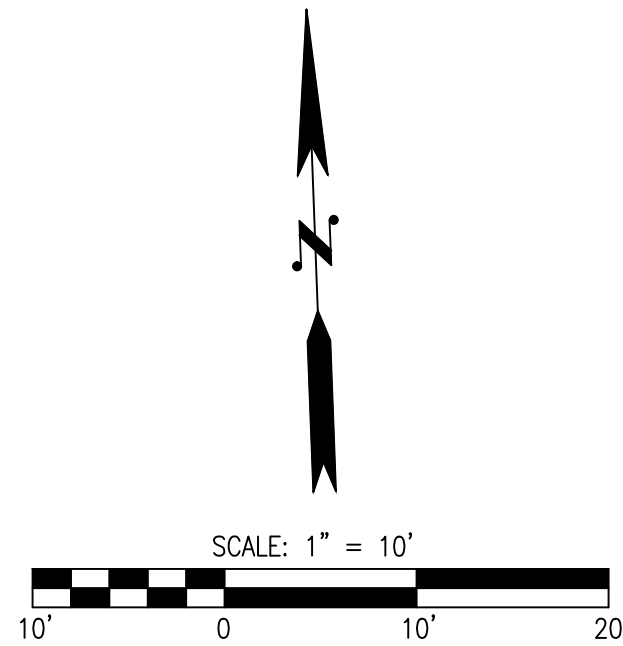
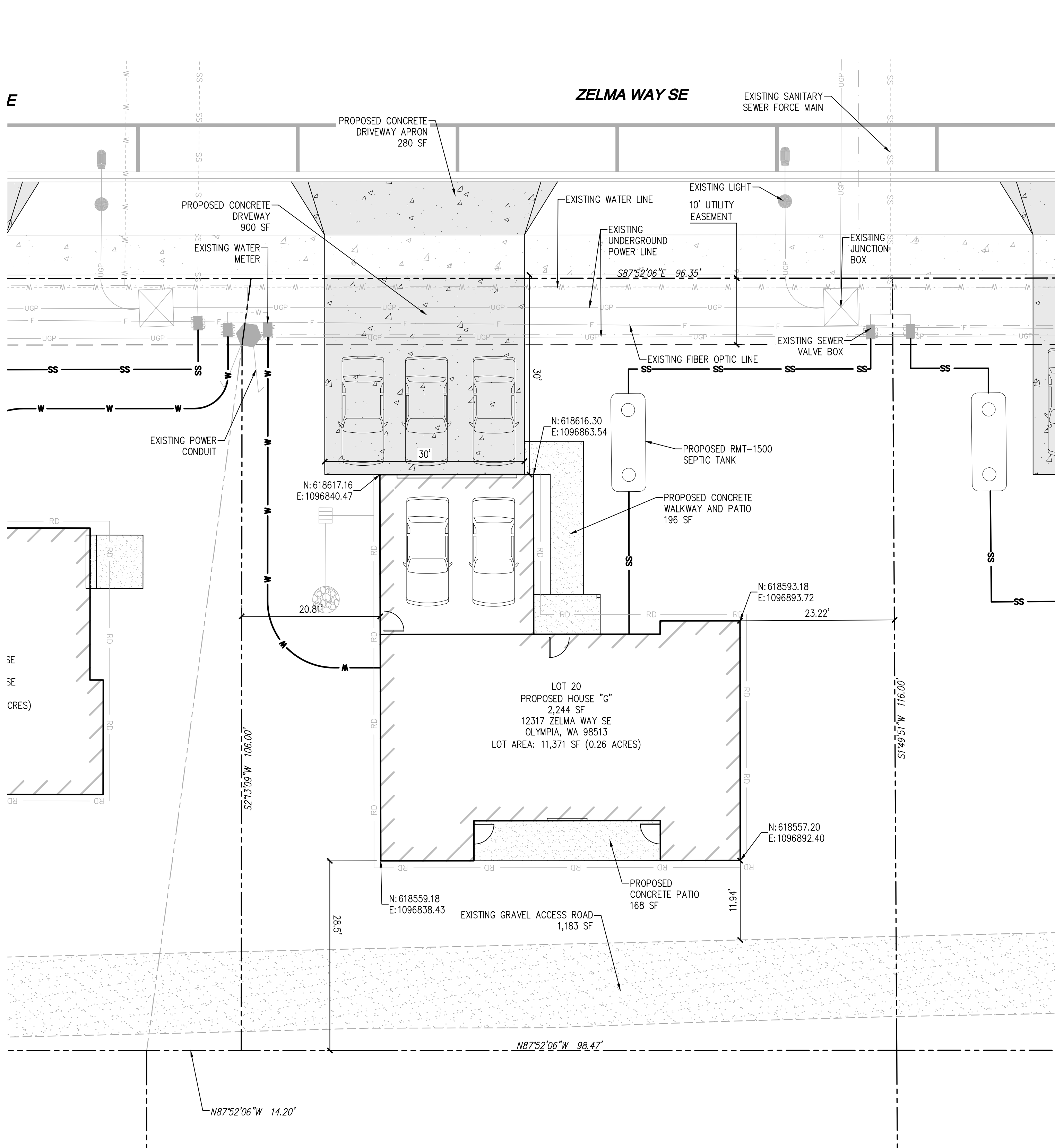
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F 425.482.2893

GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12236 SQUALI ABSCH RD SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-02
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA



LEGEND

	LOT LINE
	R.O.W. CENTER LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED ASTM D. 3034 SDR 35 PVC SANITARY SEWER LINE
	PROPOSED 1" POLY PIPE WITH TRACER WIRE
	EXISTING LIGHT POLE
	EXISTING JUNCTION BOX
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING POWER LINE
	EASEMENT
	STORM DRYWELL

CONSTRUCTION AREAS

HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	1,183 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	3,508 SF
TOTAL	4,691 SF (41.3% OF TOTAL SITE)

PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	6,680 SF
TOTAL	6,680 SF

TOTAL:	
TOTAL SITE AREA	11,371 SF (0.26 AC)

NEW HARD SURFACES	3,508 SF
EXISTING HARD SURFACES	1,183 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	6,680 SF
TOTAL DISTURBED AREA	11,371 SF (0.26 AC)

CLEARING AND GRADING LIMIT	11,371 SF
----------------------------	-----------

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER

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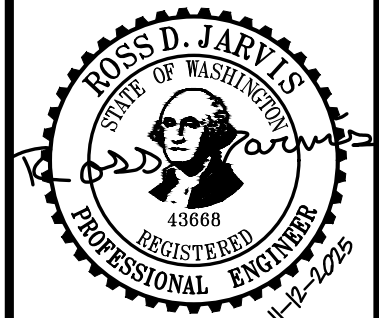
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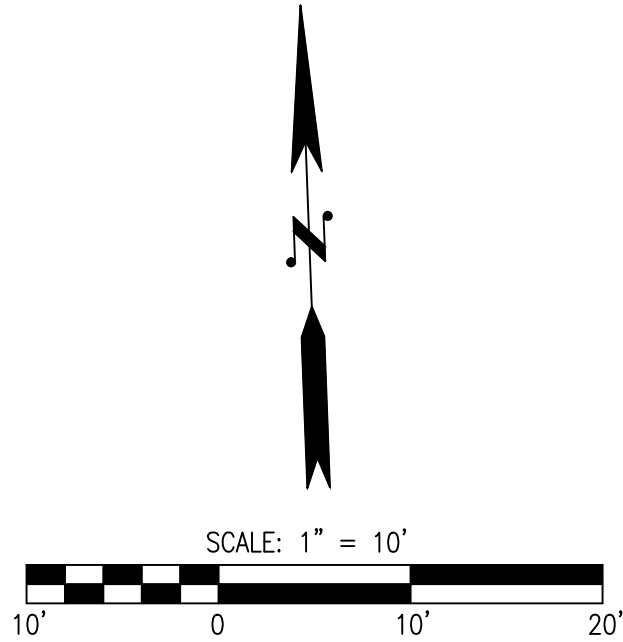
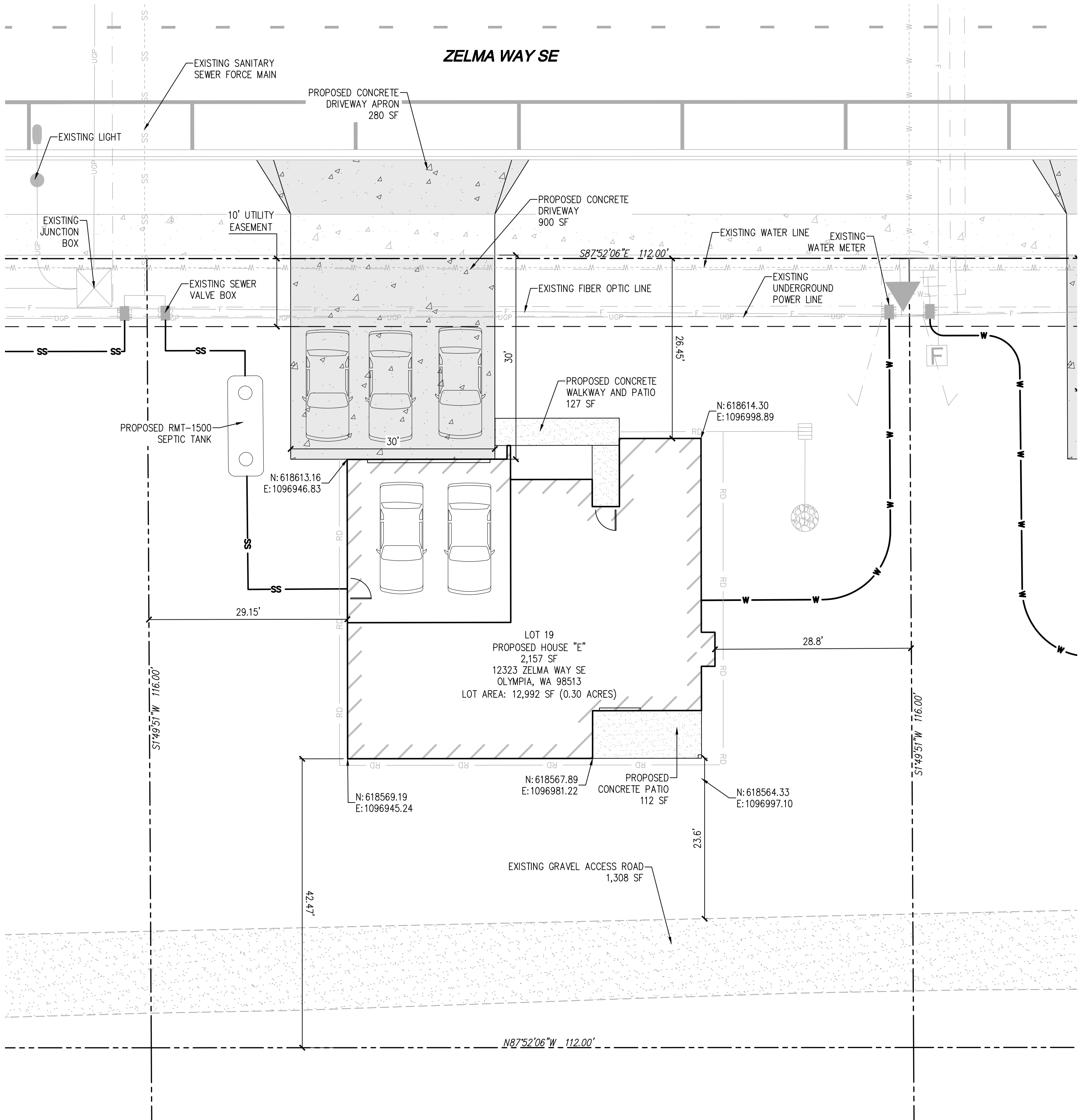
GOVERNMENT OF NISQUALLY INDIAN TRIBE

NISQUALLY PROTOCOL HOUSING DEVELOPMENT PROJECT

12317 ZELMA WAY SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-03
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA



LEGEND	
	LOT LINE
	R.O.W. CENTER LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED ASTM D 3034 SDR 35 PVC SANITARY SEWER LINE
	PROPOSED 1" POLY PIPE WITH TRACER WIRE
	EXISTING LIGHT POLE
	EXISTING JUNCTION BOX
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING POWER LINE
	EASEMENT
	STORM DRYWELL

CONSTRUCTION AREAS	
HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	1,308 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	3,295 SF
TOTAL	4,603 SF (35.4% OF TOTAL SITE)
PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	8,389 SF
TOTAL	8,389 SF
TOTAL:	
TOTAL SITE AREA	12,992 SF (0.30 AC)
NEW HARD SURFACES	3,295 SF
EXISTING HARD SURFACES	1,308 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	8,389 SF
TOTAL DISTURBED AREA	12,992 SF (0.30 AC)
CLEARING AND GRADING LIMIT	12,992 SF

UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

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REVISIONS	
NO.	DESCRIPTION

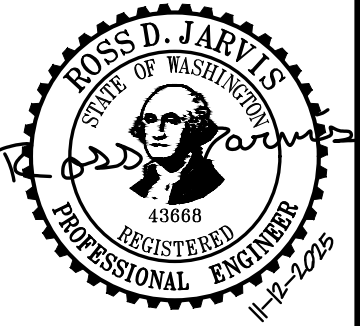
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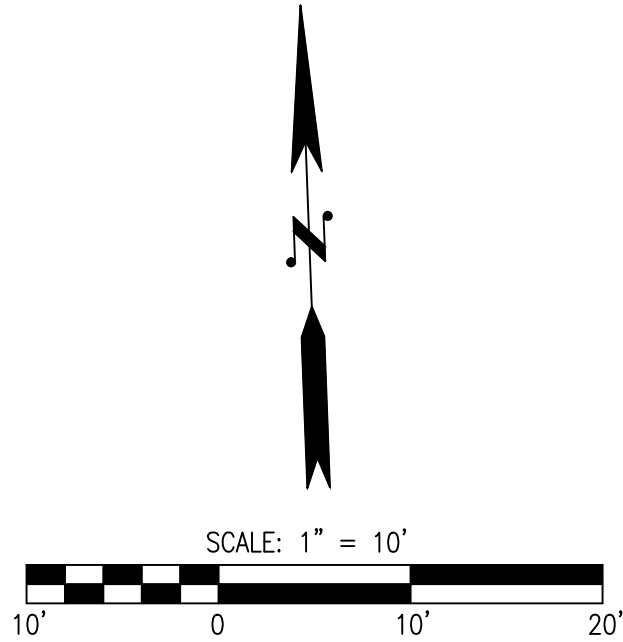
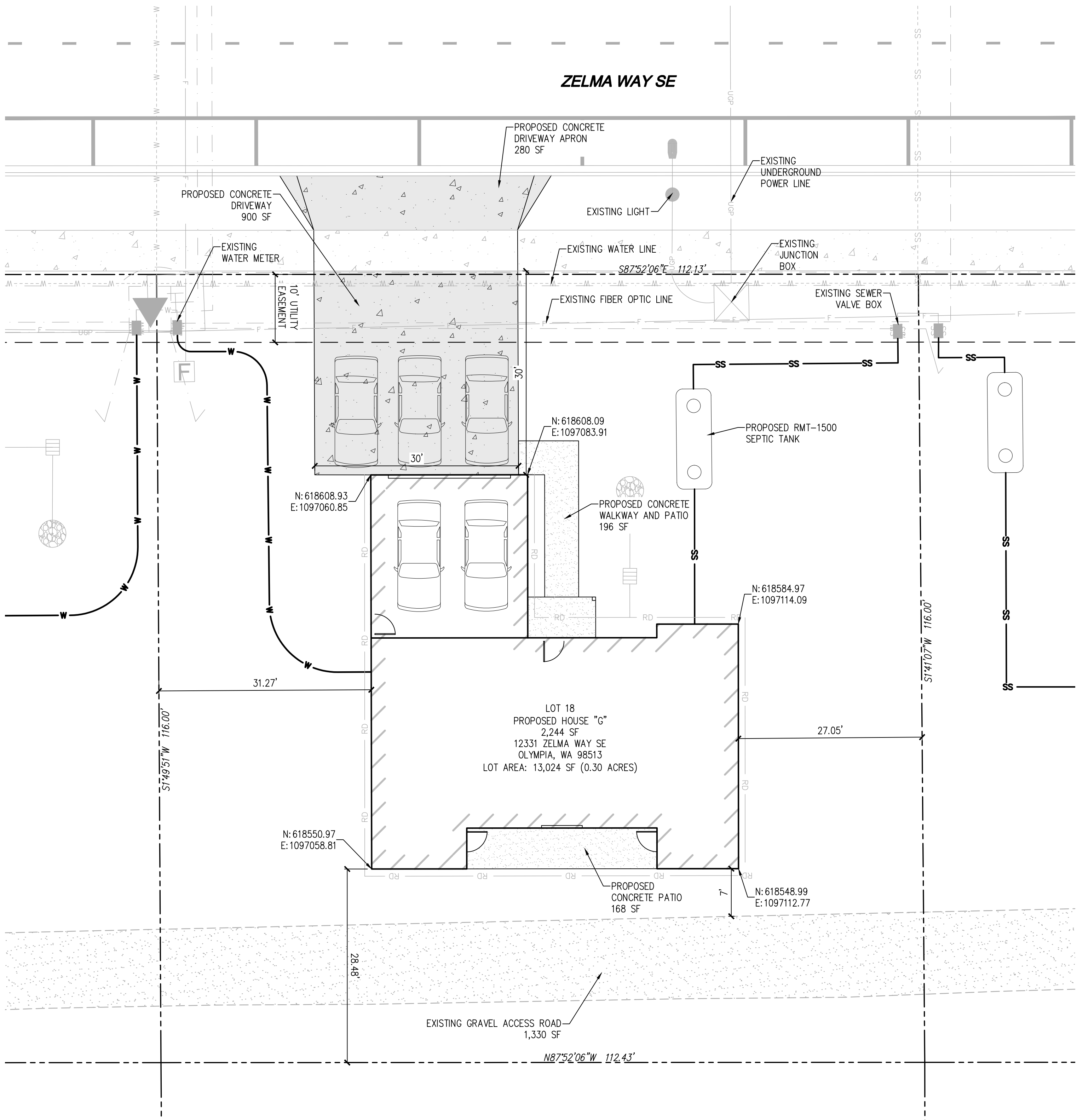
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GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12323 ZELMA WAY SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-04
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA

SP-04



LEGEND	
	LOT LINE
	R.O.W. CENTER LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED ASTM D 3034 SDR 35 PVC SANITARY SEWER LINE
	PROPOSED 1" POLY PIPE WITH TRACER WIRE
	EXISTING LIGHT POLE
	EXISTING JUNCTION BOX
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING POWER LINE
	EASEMENT
	STORM DRYWELL

CONSTRUCTION AREAS	
HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	1,330 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	3,507 SF
TOTAL	4,837 SF (37.1% OF TOTAL SITE)
PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	8,187 SF
TOTAL	8,187 SF
TOTAL:	
TOTAL SITE AREA	13,024 SF (0.30 AC)
NEW HARD SURFACES	3,507 SF
EXISTING HARD SURFACES	1,330 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	8,187 SF
TOTAL DISTURBED AREA	13,024 SF (0.30 AC)
CLEARING AND GRADING LIMIT	13,024 SF

UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER
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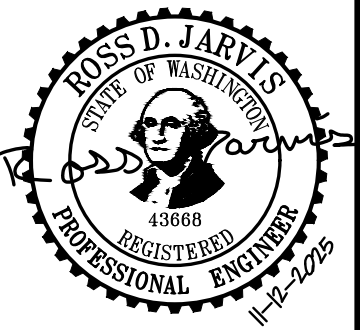
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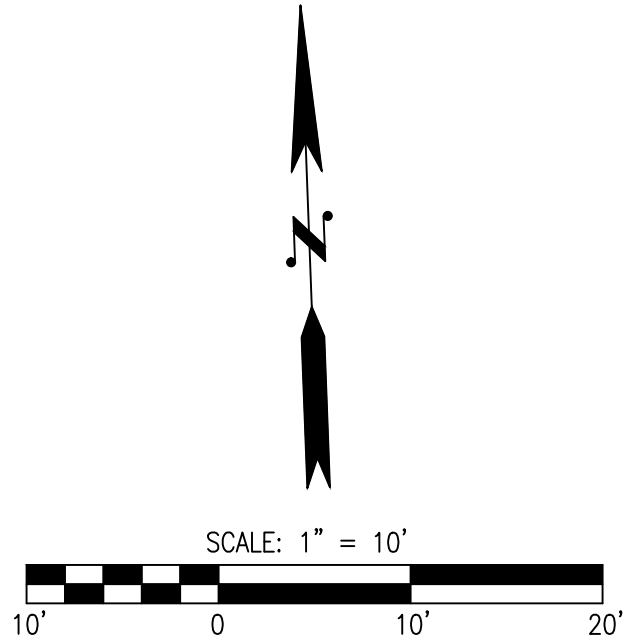
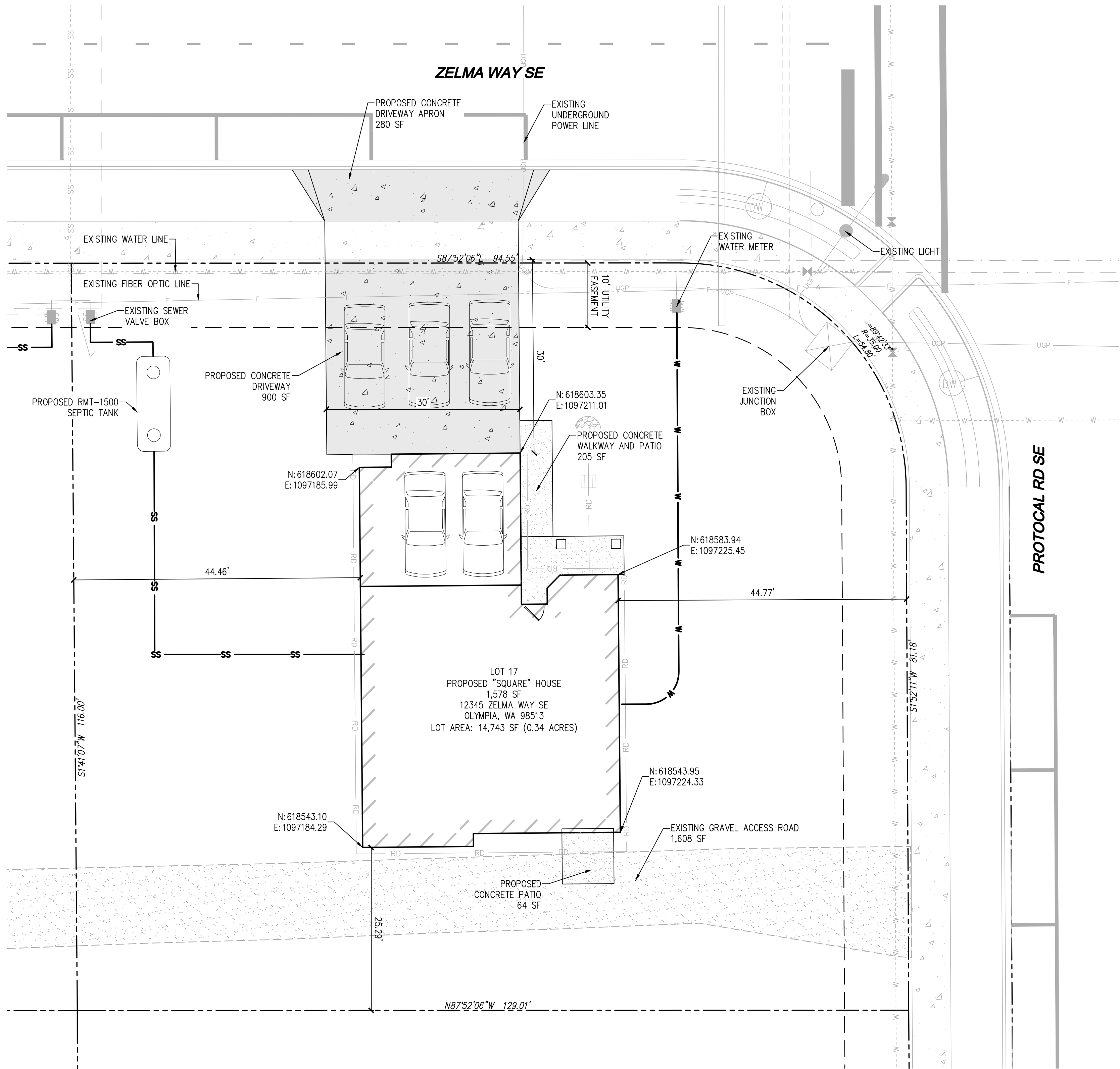
GOVERNMENT OF NISQUALLY INDIAN TRIBE

NISQUALLY PROTOCOL HOUSING DEVELOPMENT PROJECT

12331 ZELMA WAY SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-05
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA



LEGEND	
	LOT LINE
	R.O.W. CENTER LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED ASTM D. 3034 SDR 35 PVC SANITARY SEWER LINE
	PROPOSED 1" POLY PIPE WITH TRACER WIRE
	EXISTING LIGHT POLE
	EXISTING JUNCTION BOX
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING POWER LINE
	EASEMENT
	STORM DRYWELL

CONSTRUCTION AREAS	
HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	1,608 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	2,746 SF
TOTAL	4,354 SF (29.5% OF TOTAL SITE)
PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	10,389 SF
TOTAL	10,389 SF
TOTAL:	
TOTAL SITE AREA	14,743 SF (0.34 AC)
NEW HARD SURFACES	2,746 SF
EXISTING HARD SURFACES	1,608 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	10,389 SF
TOTAL DISTURBED AREA	14,743 SF (0.34 AC)
CLEARING AND GRADING LIMIT	14,743 SF

UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER
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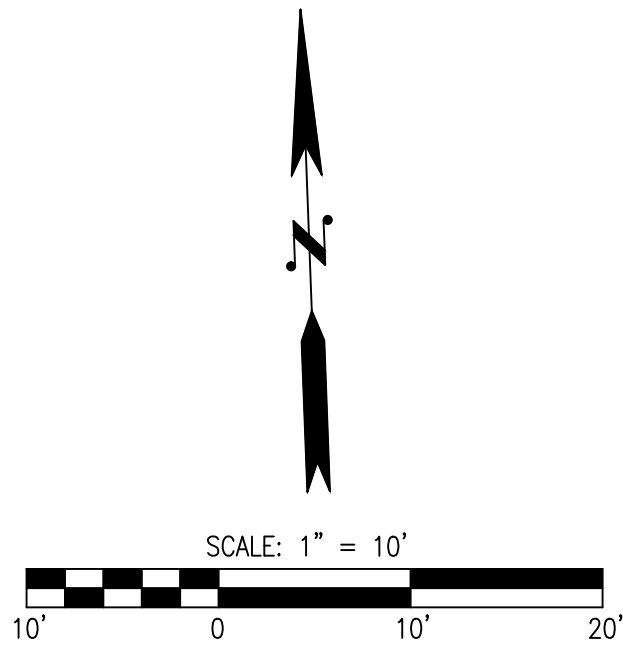
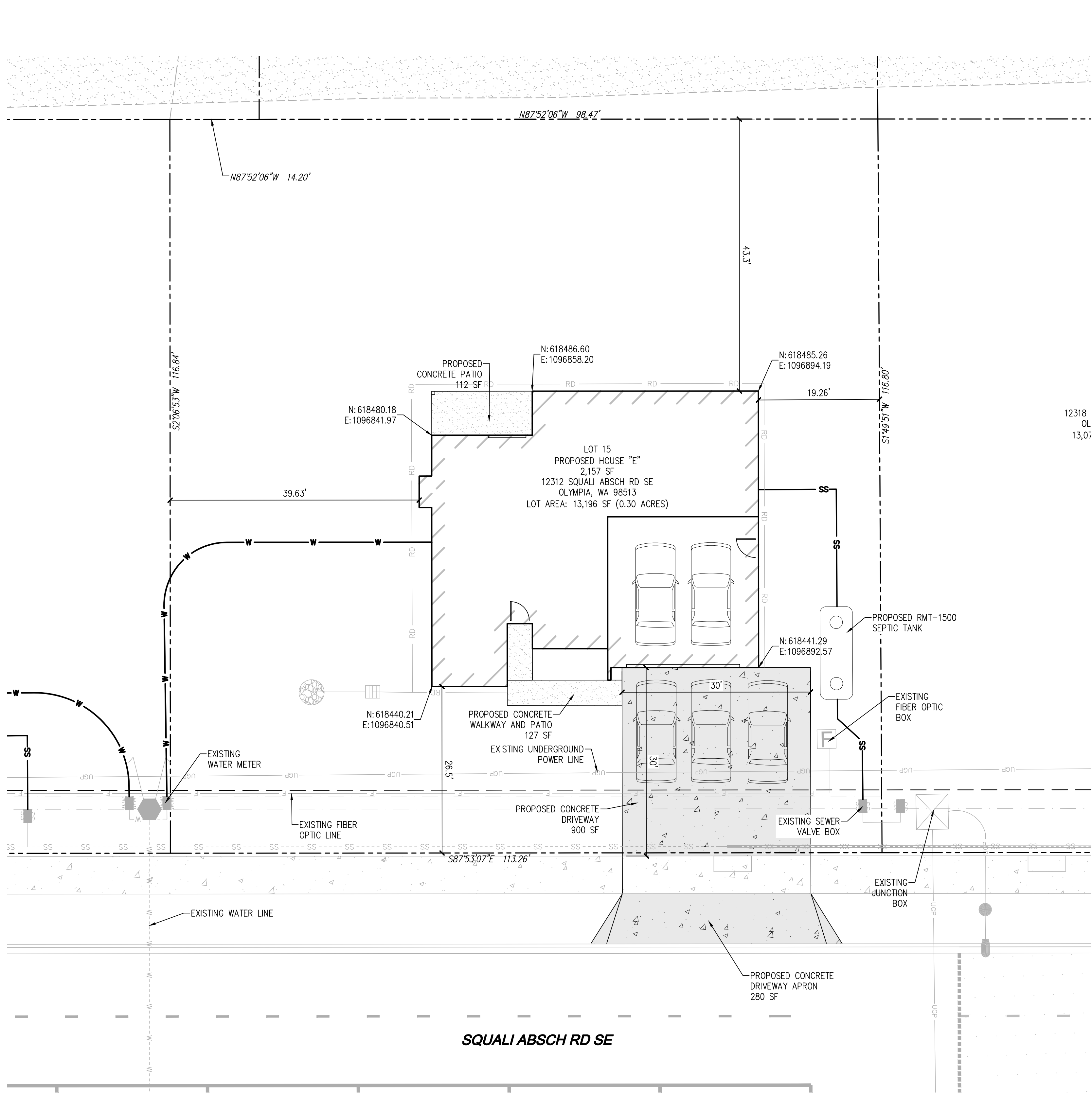
GOVERNMENT OF NISQUALLY INDIAN TRIBE

NISQUALLY PROTOCOL HOUSING DEVELOPMENT PROJECT

12345 ZELMA WAY SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-06
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA



LEGEND	
	LOT LINE
	R.O.W. CENTER LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED ASTM D. 3034 SDR 35 PVC SANITARY SEWER LINE
	PROPOSED 1" POLY PIPE WITH TRACER WIRE
	EXISTING LIGHT POLE
	EXISTING JUNCTION BOX
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING POWER LINE
	EASEMENT
	STORM DRYWELL

CONSTRUCTION AREAS

HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	0 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	3,296 SF
TOTAL	3,296 SF (25% OF TOTAL SITE)

PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	9,900 SF
TOTAL	9,900 SF

TOTAL:	
TOTAL SITE AREA	13,196 SF (0.30 AC)
NEW HARD SURFACES	3,296 SF
EXISTING HARD SURFACES	0 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	9,900 SF
TOTAL DISTURBED AREA	13,196 SF (0.30 AC)
CLEARING AND GRADING LIMIT	13,196 SF

UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER
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REVISIONS	
NO.	DATE

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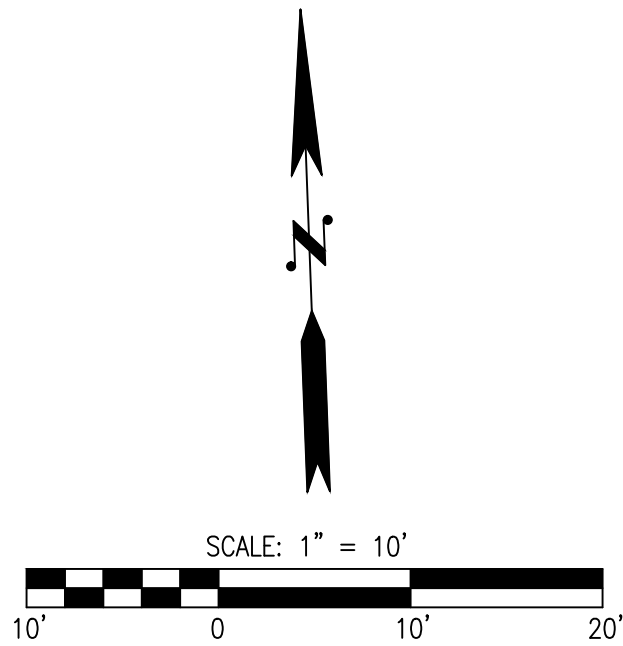
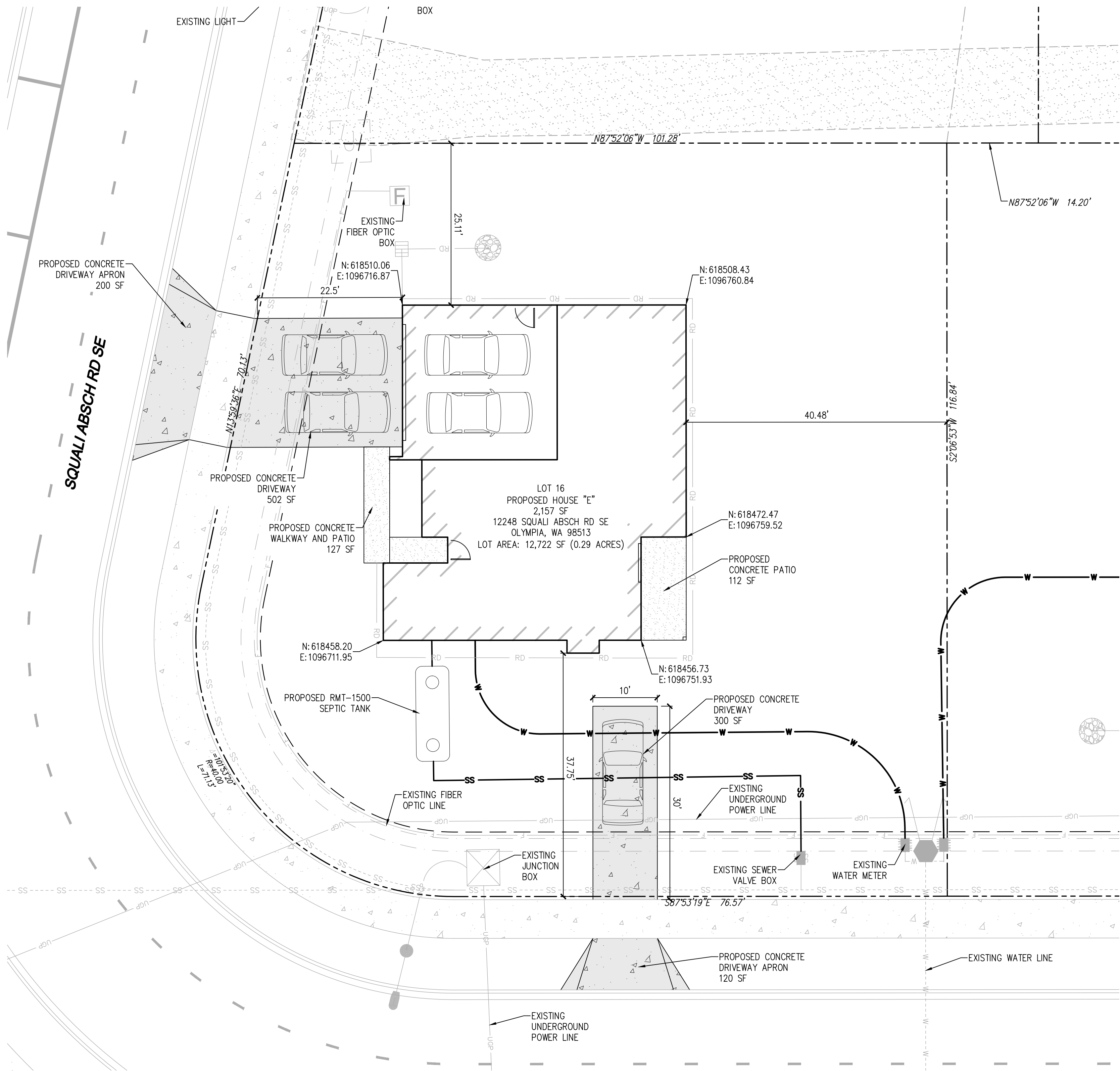
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GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12312 SQUALI ABSCH RD SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-07
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA



LEGEND

- LOT LINE
- R.O.W. CENTER LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED ASTM D 3034 SDR 35 PVC SANITARY SEWER LINE
- PROPOSED 1" POLY PIPE WITH TRACER WIRE
- EXISTING LIGHT POLE
- EXISTING JUNCTION BOX
- EXISTING SIDEWALK
- EXISTING ASPHALT PAVEMENT
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING FIBER OPTIC LINE
- EXISTING POWER LINE
- EASEMENT
- STORM DRYWELL

CONSTRUCTION AREAS

HARD SURFACE AREAS:	
EXISTING HARD SURFACES TO BE REMOVED	0 SF
EXISTING HARD SURFACES TO REMAIN	0 SF
REPLACED HARD SURFACES	0 SF
PROPOSED NEW HARD SURFACES	3,198 SF
TOTAL	3,198 SF (25.1% OF TOTAL SITE)

PERVIOUS AREAS:	
PROPOSED LAWN/LANDSCAPING	9,524 SF
TOTAL	9,524 SF

TOTAL:	
TOTAL SITE AREA	12,722 SF (0.29 AC)
NEW HARD SURFACES	3,198 SF
EXISTING HARD SURFACES	0 SF
REPLACED HARD SURFACES	0 SF
PROPOSED LANDSCAPING	9524 SF
TOTAL DISTURBED AREA	12,722 SF (0.29 AC)
CLEARING AND GRADING LIMIT	12,722 SF

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER

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REVISIONS	
NO.	DESCRIPTION

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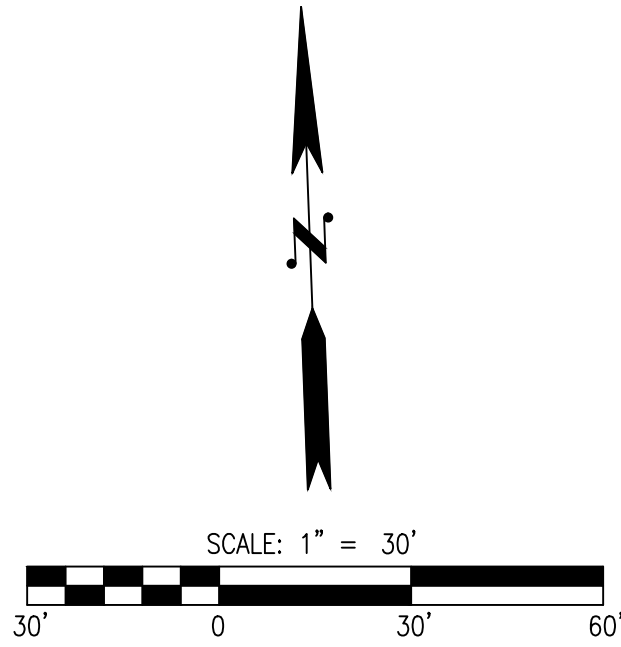
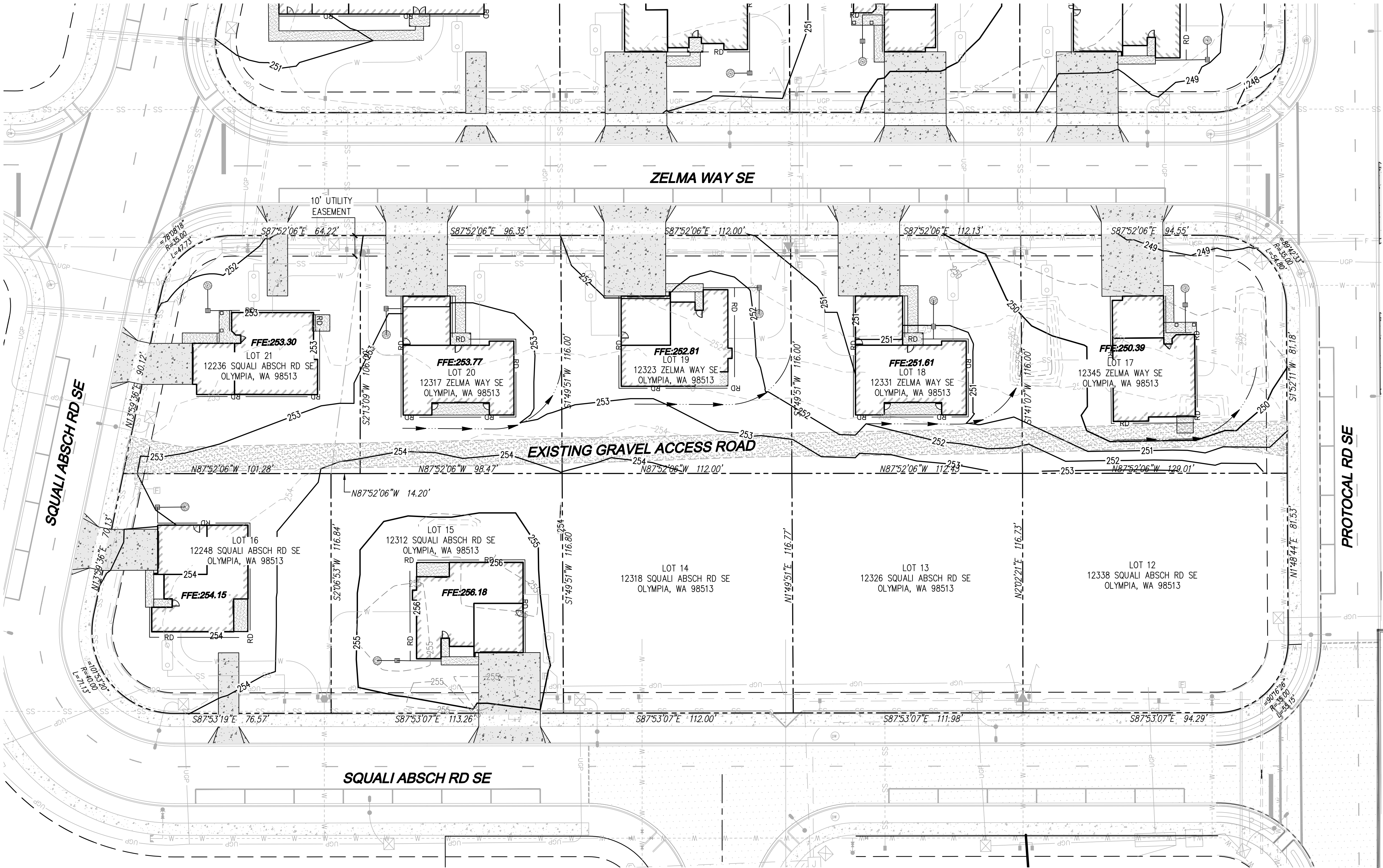
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GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12248 SQUALI ABSCH RD SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 SP-08
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA

SP-08



- LEGEND**
- XXX.XX SPOT ELEVATION
 - X.XX% SLOPE ARROW
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - RD PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
 - PROPOSED 6" AREA DRAIN
 - PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
 - PROPOSED DRAINAGE COURSE

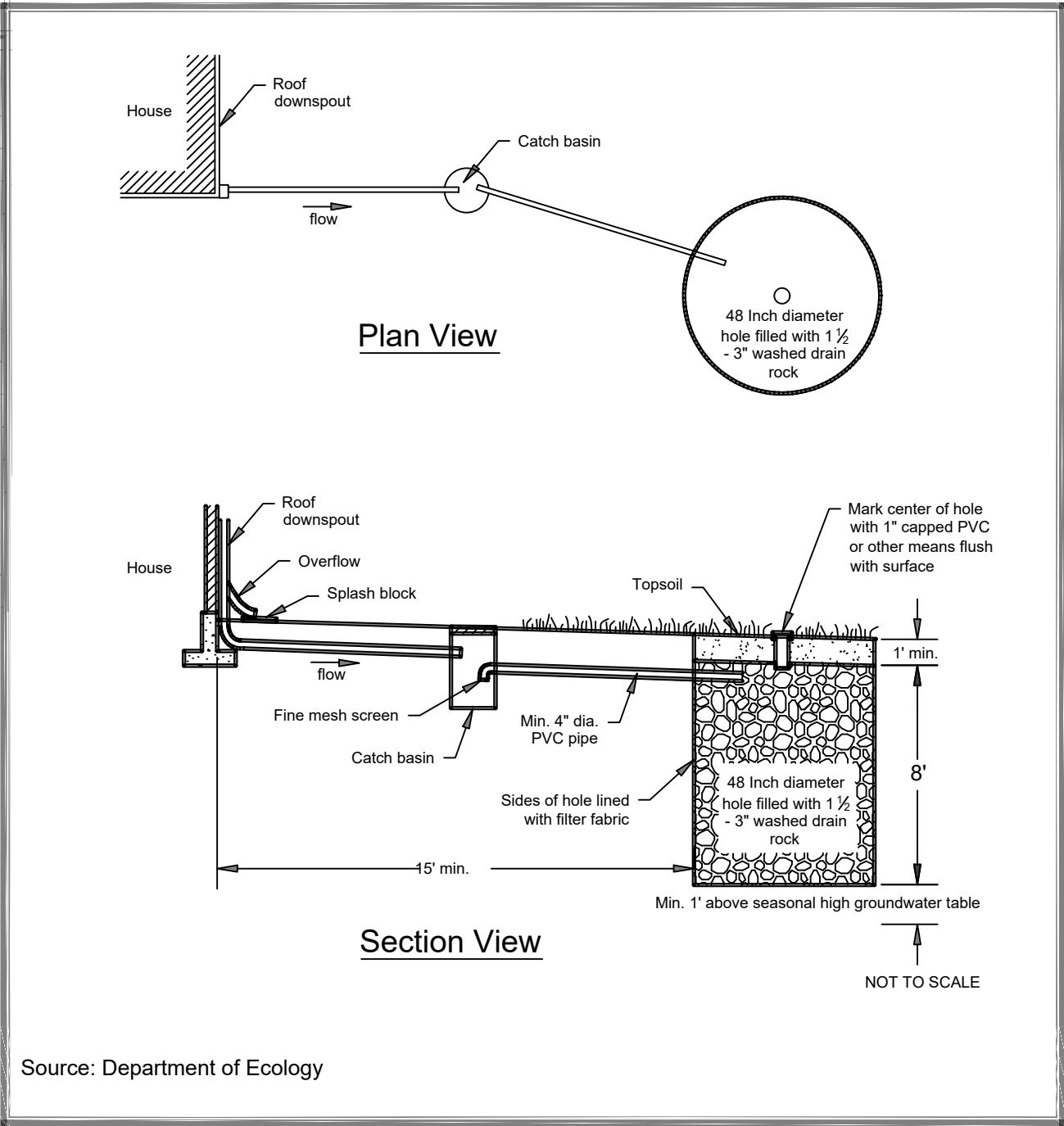


Figure V - 2.4 Typical Downspout Infiltration Drywell

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

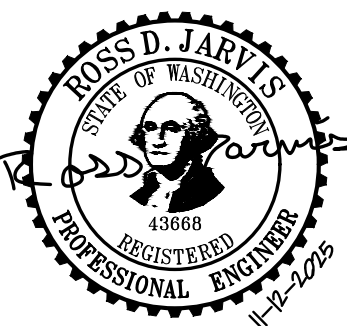
CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER

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GOVERNMENT OF NISQUALLY INDIAN TRIBE
**NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT**
OVERALL GRADING PLAN



JOB NUMBER: C24-118
DRAWING NAME: C24-118 CG-01
DESIGNER: RW
DRAFTING BY: ES
DATE: NOVEMBER 2025
SCALE: AS SHOWN
JURISDICTION: NISQUALLY, WA

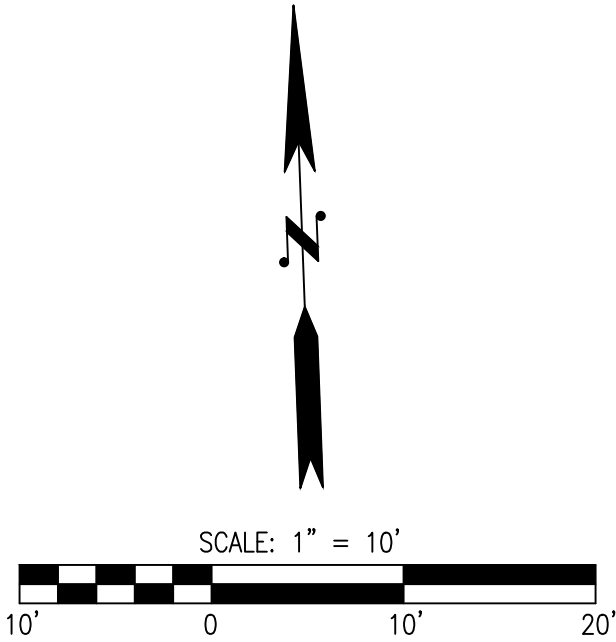
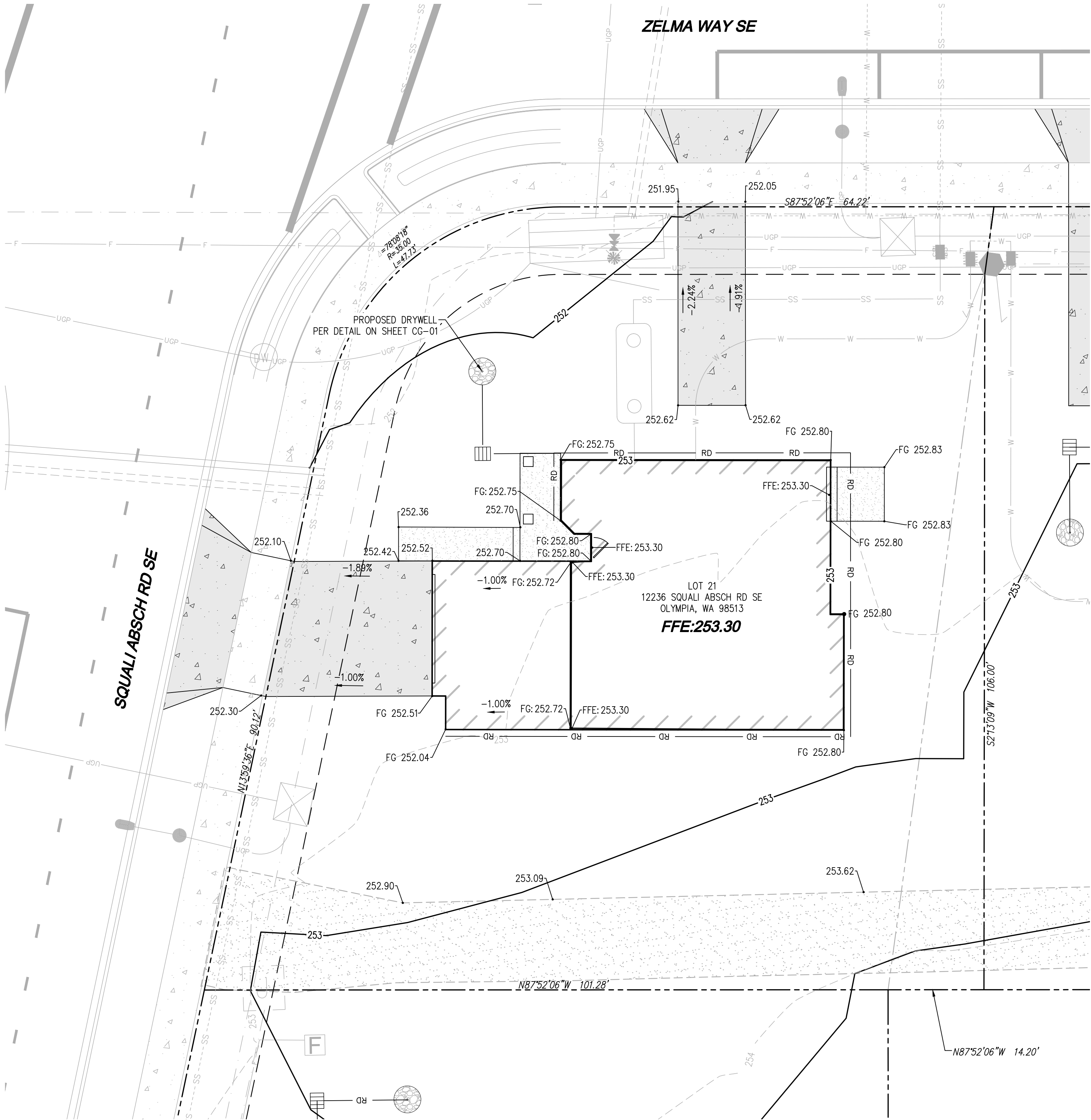
CG-01

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LEGEND	
XXX.XX	SPOT ELEVATION
X.XX%	SLOPE
-XX	EXISTING CONTOURS
XX	PROPOSED CONTOURS
RD	PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
	PROPOSED 6" AREA DRAIN
	PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
	PROPOSED DRAINAGE COURSE

SPOT ELEVATION LEGEND:

BS: BOTTOM OF STEP
TS: TOP OF STEP
FFE: FINISH FLOOR ELEVATION

GRADING AND BUILDING NOTES:

- THE GARAGE SLAB IS SLOPED AT 1.0%
- A 7 INCH STEP IS ASSUMED FROM GARAGE TO THE FFE ELEVATION FOR ALL UNITS.
- THE PERIMETER OF THE BUILDING INCLUDES A 6 INCH STEM WALL REVEAL.
- OPTION #1: INSTALL THE BACK PATIO FLUSH WITH THE FFE PROVIDING A 6 INCH STEP DOWN TO FINISH GROUND GRADE.
OPTION #2: INSTALL A STEP OUTSIDE OF THE DOOR AND HAVE THE CONCRETE PATIO FLUSH WITH THE FINISH GRADE.
- THE CONTRACTOR SHALL FIELD FIT A TEMPORARY DRAINAGE COURSE AROUND THE BUILDINGS TO PREVENT PONDING IN THE BACK YARDS.

UTILITY NOTE

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CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER

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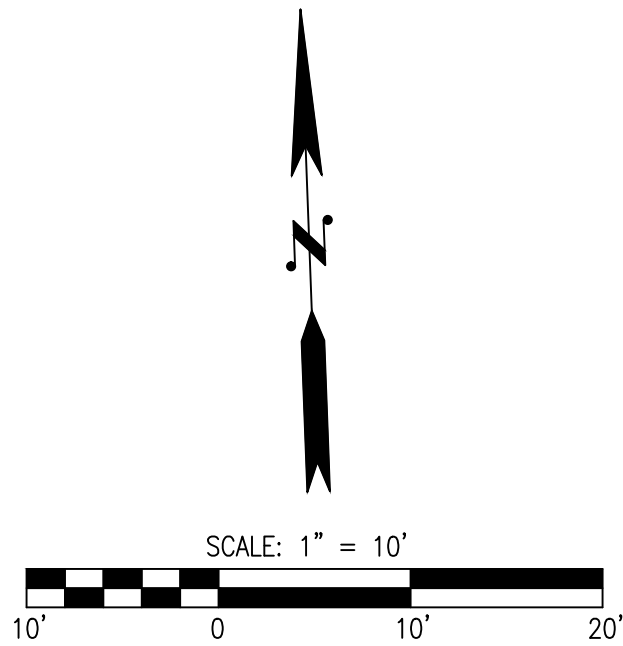
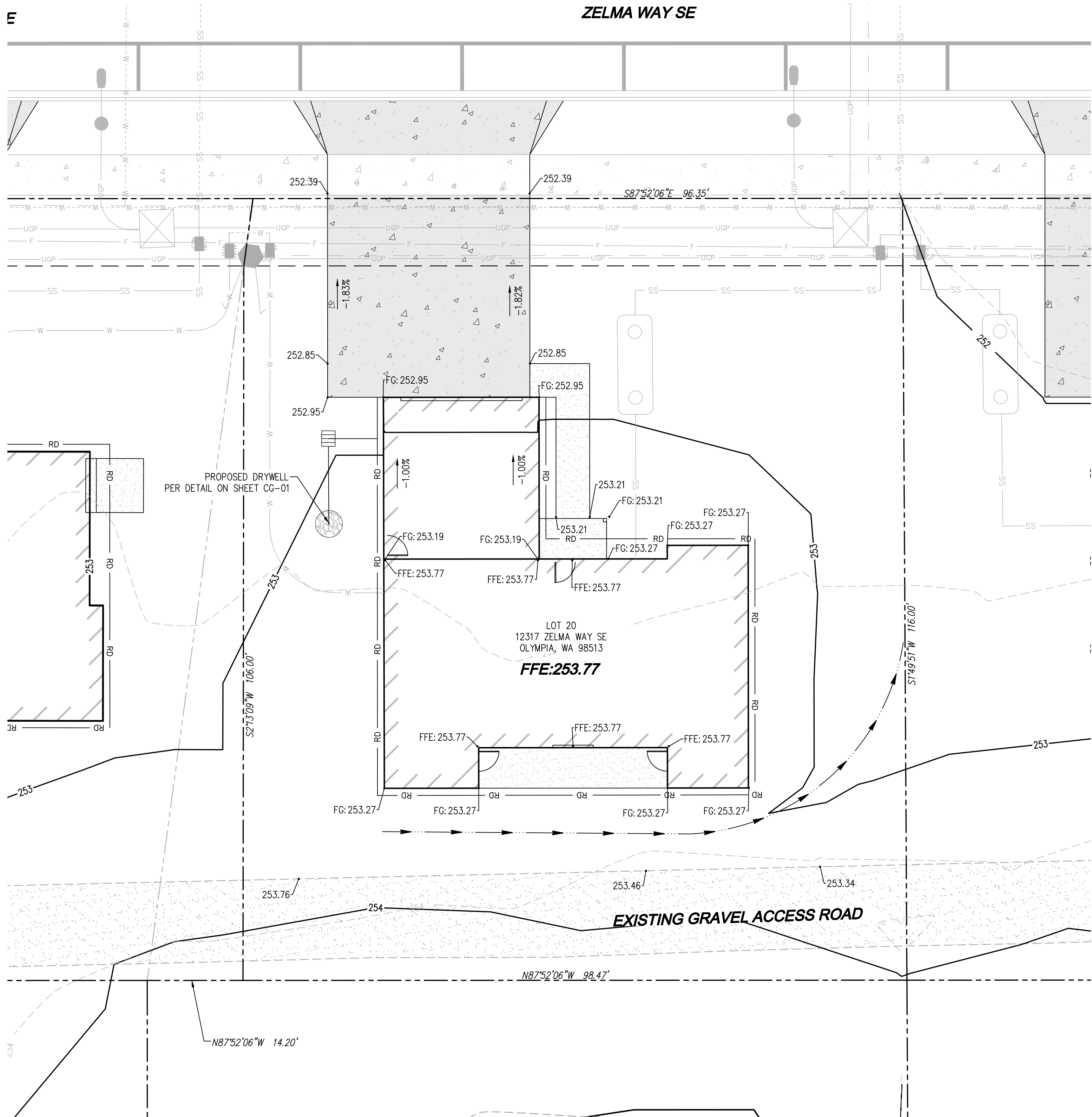
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GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12236 SQUALI ABSCH RD SE GRADING PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 CG-02
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA



LEGEND	
XXX.XX	SPOT ELEVATION
X.XX%	SLOPE
-XX-	EXISTING CONTOURS
-XX-	PROPOSED CONTOURS
RD	PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
	PROPOSED 6" AREA DRAIN
⊙	PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
→	PROPOSED DRAINAGE COURSE

SPOT ELEVATION LEGEND:
BS: BOTTOM OF STEP
TS: TOP OF STEP
FFE: FINISH FLOOR ELEVATION

- GRADING AND BUILDING NOTES:**
- THE GARAGE SLAB IS SLOPED AT 1.0%.
 - A 7 INCH STEP IS ASSUMED FROM GARAGE TO THE FFE ELEVATION FOR ALL UNITS.
 - THE PERIMETER OF THE BUILDING INCLUDES A 6 INCH STEM WALL REVEAL.
 - OPTION #1: INSTALL THE BACK PATIO FLUSH WITH THE FFE PROVIDING A 6 INCH STEP DOWN TO FINISH GROUND GRADE.
OPTION #2: INSTALL A STEP OUTSIDE OF THE DOOR AND HAVE THE CONCRETE PATIO FLUSH WITH THE FINISH GRADE.
 - THE CONTRACTOR SHALL FIELD FIT A TEMPORARY DRAINAGE COURSE AROUND THE BUILDINGS TO PREVENT PONDING IN THE BACK YARDS.

UTILITY NOTE
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CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

DISCLAIMER
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Utilities Underground Location Center

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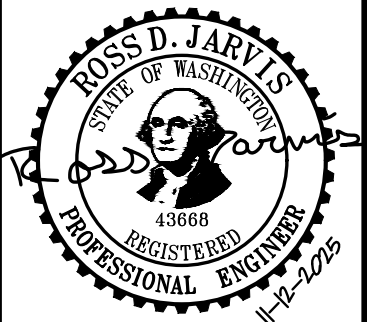
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Tumwater, WA 98501
www.LDCcorp.com

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GOVERNMENT OF NISQUALLY INDIAN TRIBE
**NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT**
12317 ZELMA WAY SE GRADING PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 CG-03
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA

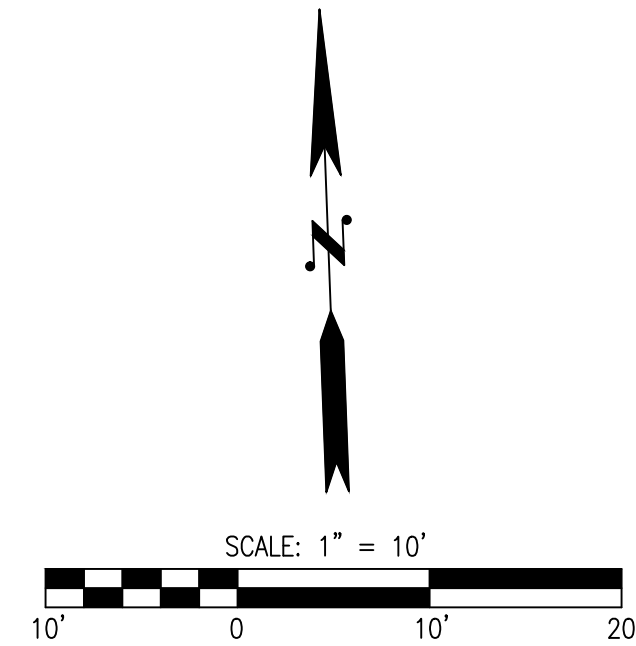


Diagram illustrating the proposed drainage course and associated features:

- SPOT ELEVATION: Indicated by a line with an arrow pointing to the value XXX.XX.
- SLOPE: Indicated by a line with an arrow pointing to the value X.XX%.
- EXISTING CONTOURS: Represented by dashed lines labeled XX.
- PROPOSED CONTOURS: Represented by solid lines labeled XX.
- PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE: Represented by a solid line labeled RD.
- PROPOSED 6" AREA DRAIN: Represented by a rectangular symbol.
- PROPOSED DRYWELL PER DETAIL ON SHEET CG-01: Represented by a circular symbol with internal details.
- PROPOSED DRAINAGE COURSE: Represented by a line with arrows pointing in the direction of flow.

BS: BOTTOM OF STEP
TS: TOP OF STEP
FFE: FINISH FLOOR ELEVATION

1. THE GARAGE SLAB IS SLOPED AT 1.0%
2. A 7 INCH STEP IS ASSUMED FROM GARAGE TO THE FFE ELEVATION FOR ALL UNITS.
3. THE PERIMETER OF THE BUILDING INCLUDES A 6 INCH STEM WALL REVEAL.
4. OPTION #1: INSTALL THE BACK PATIO FLUSH WITH THE FFE PROVIDING A 6 INCH STEP DOWN TO FINISH GROUND GRADE.

OPTION #2: INSTALL A STEP OUTSIDE OF THE DOOR AND HAVE THE CONCRETE PATIO FLUSH WITH THE FINISH GRADE.
5. THE CONTRACTOR SHALL FIELD FIT A TEMPORARY DRAINAGE COURSE AROUND THE BUILDINGS TO PREVENT PONDING IN THE BACK YARDS.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL PROVIDE 1' MINIMUM VERTICAL SEPARATION BETWEEN POWER AND WATER CROSSINGS. POWER LINES SHALL BE INSTALLED ABOVE WATER SERVICE LINES.

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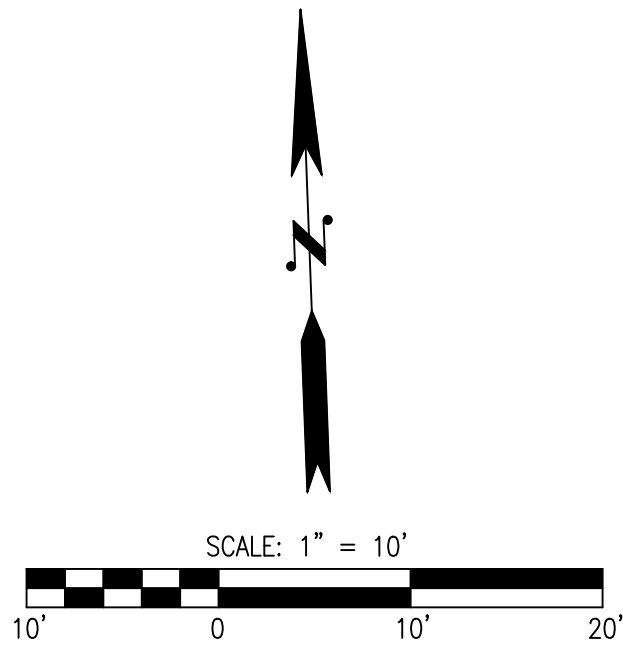
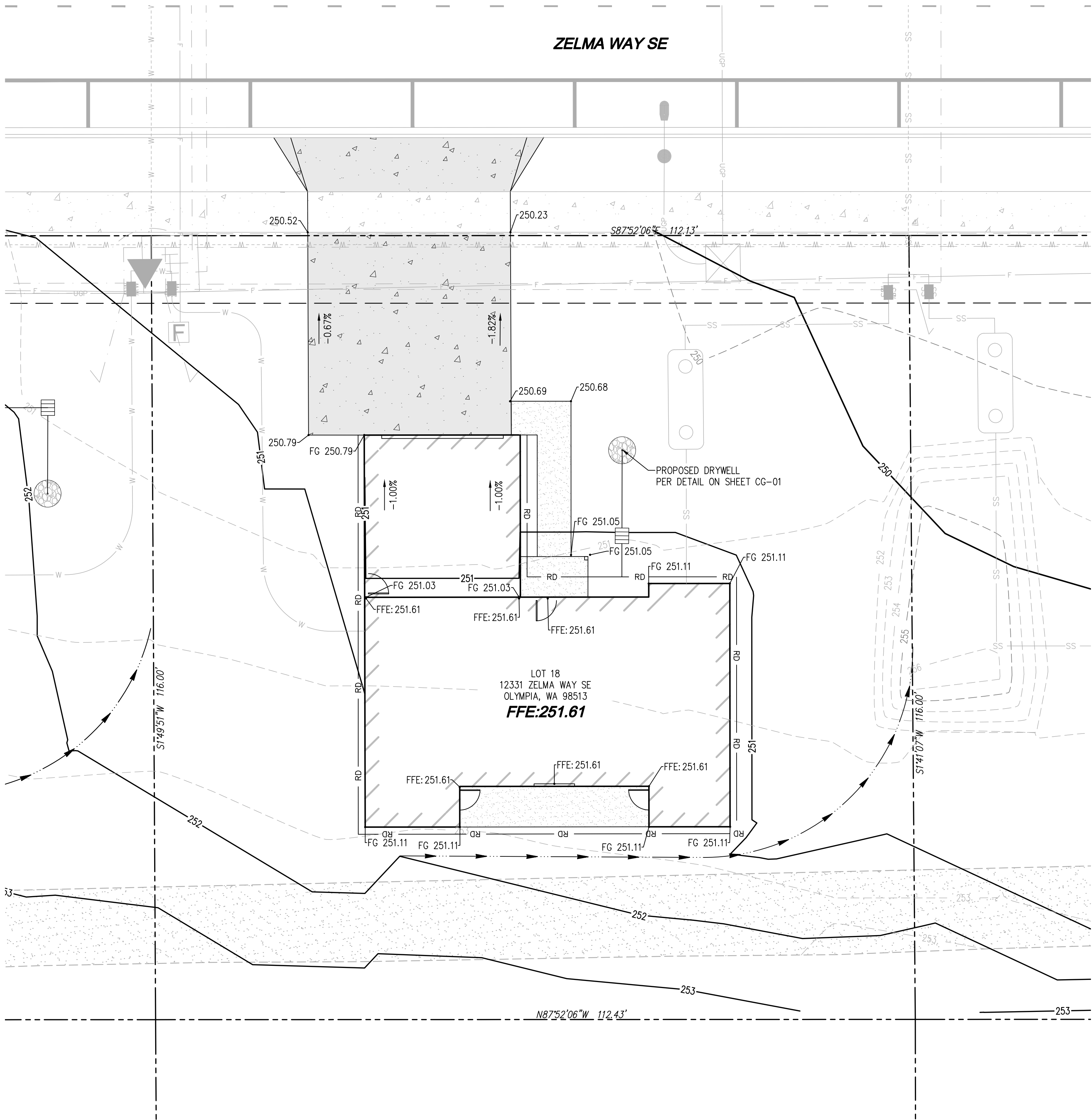
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JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 CG-04
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA

CG-04
SHEET **12** OF **16**



LEGEND

XXX.XX	SPOT ELEVATION
X.XX%	SLOPE
-XX	EXISTING CONTOURS
XX	PROPOSED CONTOURS
RD	PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
[Symbol]	PROPOSED 6" AREA DRAIN
[Symbol]	PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
[Symbol]	PROPOSED DRAINAGE COURSE

SPOT ELEVATION LEGEND:

BS: BOTTOM OF STEP
TS: TOP OF STEP
FFE: FINISH FLOOR ELEVATION

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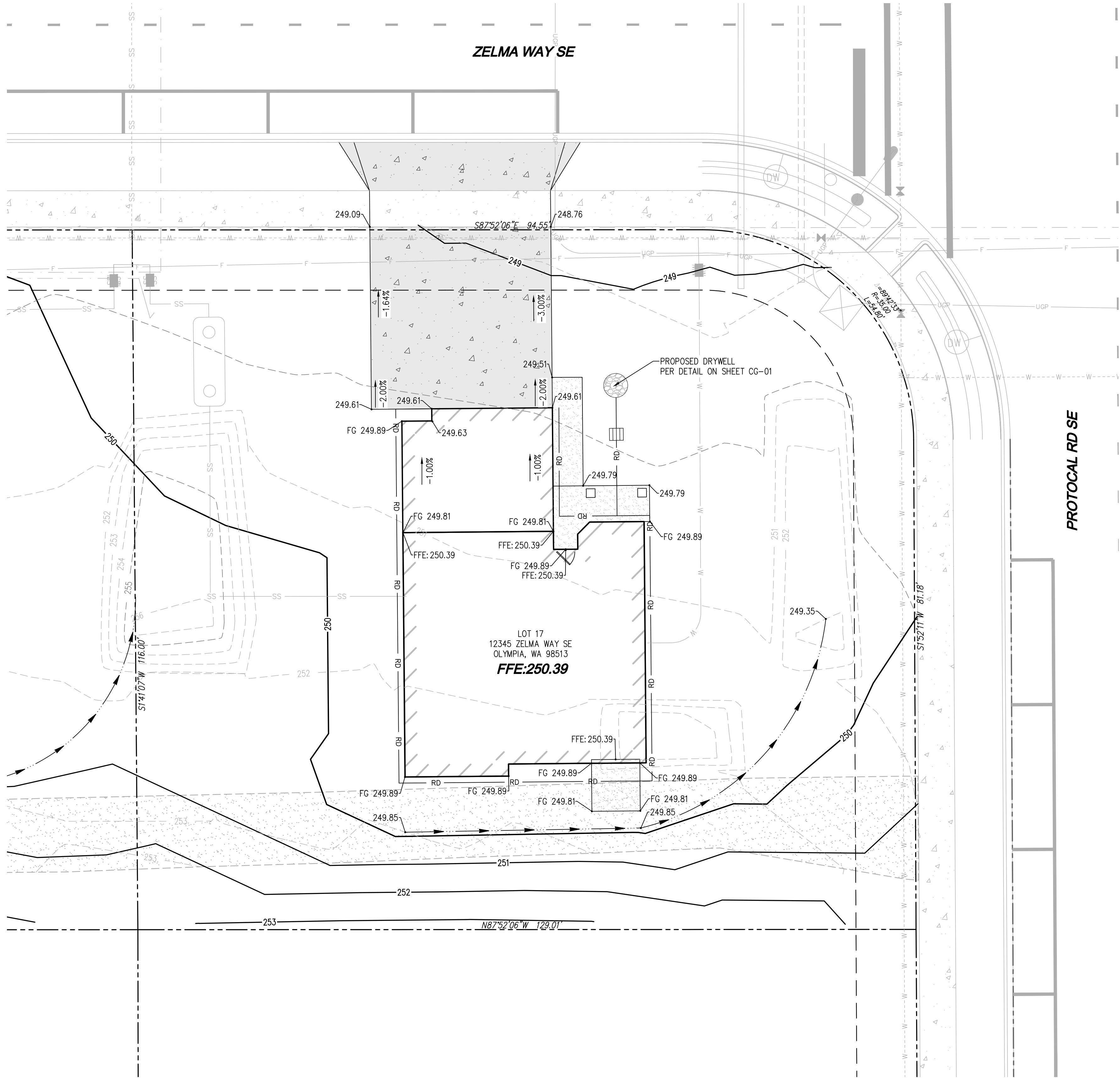
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GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12331 ZELMA WAY SE GRADING PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 CG-05
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA

Drawing: P:\Civil\2024\c24-118 nisqually protocol housing\Drawings\construction\housing layouts 1st batch\C24-118 CG-06.dwg Plottest: Nov 12, 2025 - 11:38am



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LEGEND

XXX.XX	SPOT ELEVATION
X.XX%	SLOPE
-XX	EXISTING CONTOURS
XX	PROPOSED CONTOURS
RD	PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
	PROPOSED 6" AREA DRAIN
	PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
	PROPOSED DRAINAGE COURSE

SPOT ELEVATION LEGEND:

BS: BOTTOM OF STEP
TS: TOP OF STEP
FFE: FINISH FLOOR ELEVATION

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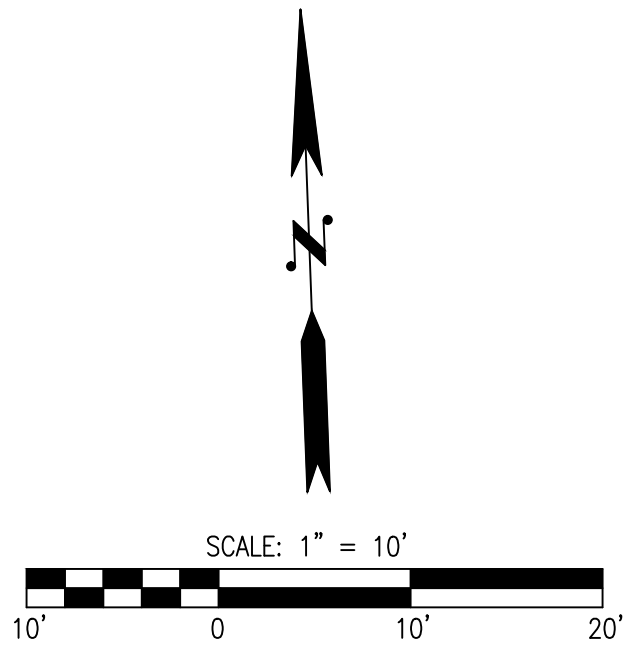
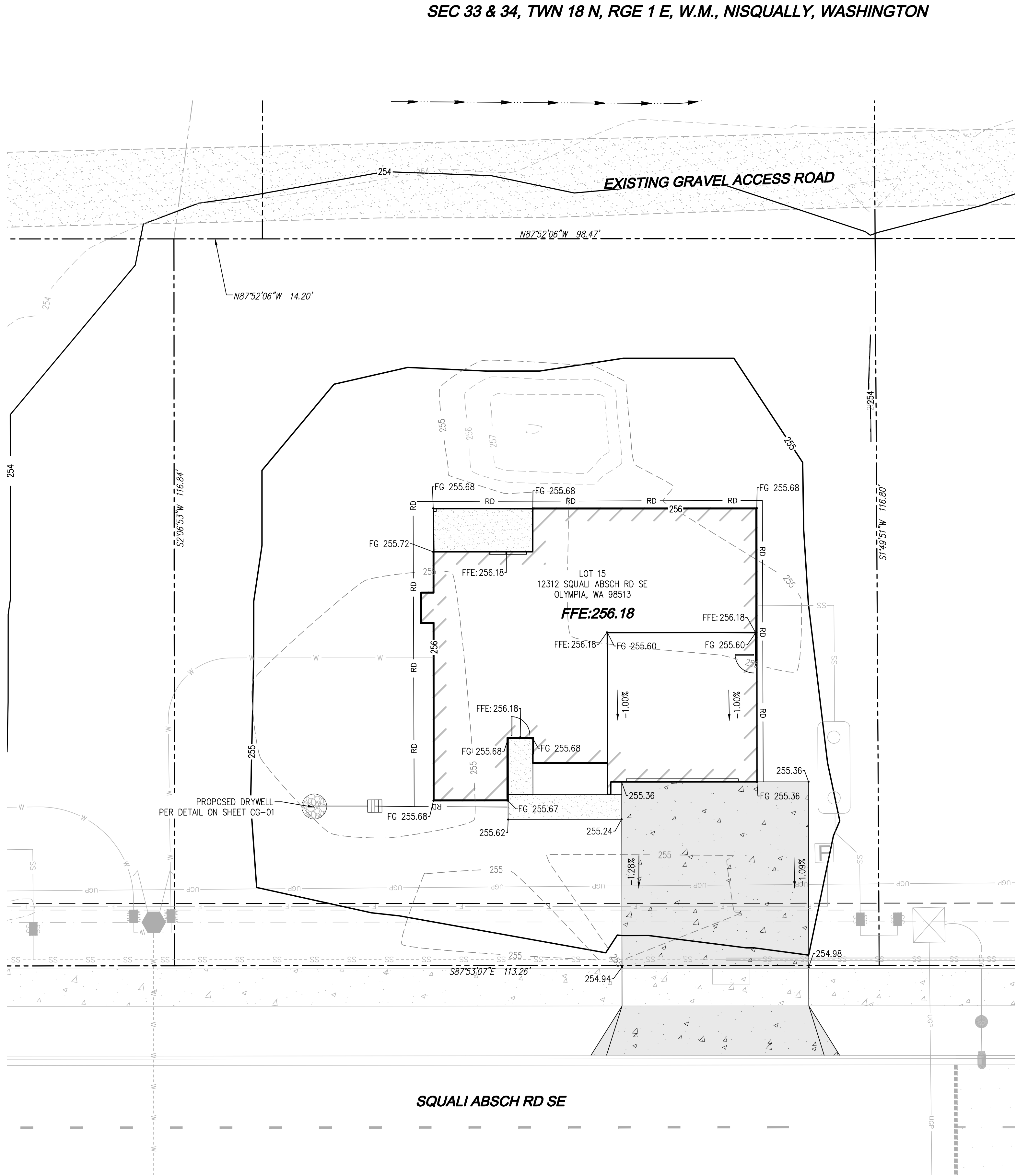
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GOVERNMENT OF NISQUALLY INDIAN TRIBE NISQUALLY PROTOCOL HOUSING DEVELOPMENT PROJECT 12345 ZELMA WAY SE GRADING PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 CG-06
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA

Drawing: P:\Civil\2024\c24-118 nisqually protocol housing\Drawings\construction\housing layouts 1st batch\C24-118 CG-07.dwg Plottest: Nov 12, 2025 - 11:38am



LEGEND

- XXX.XX SPOT ELEVATION
- X.XX% SLOPE
- XX- EXISTING CONTOURS
- XX- PROPOSED CONTOURS
- RD PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
- PROPOSED 6" AREA DRAIN
- PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
- PROPOSED DRAINAGE COURSE

SPOT ELEVATION LEGEND:

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UTILITY NOTE

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GOVERNMENT OF NISQUALLY INDIAN TRIBE
NISUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT
12312 SQUALI ABSCH RD SE SITE PLAN



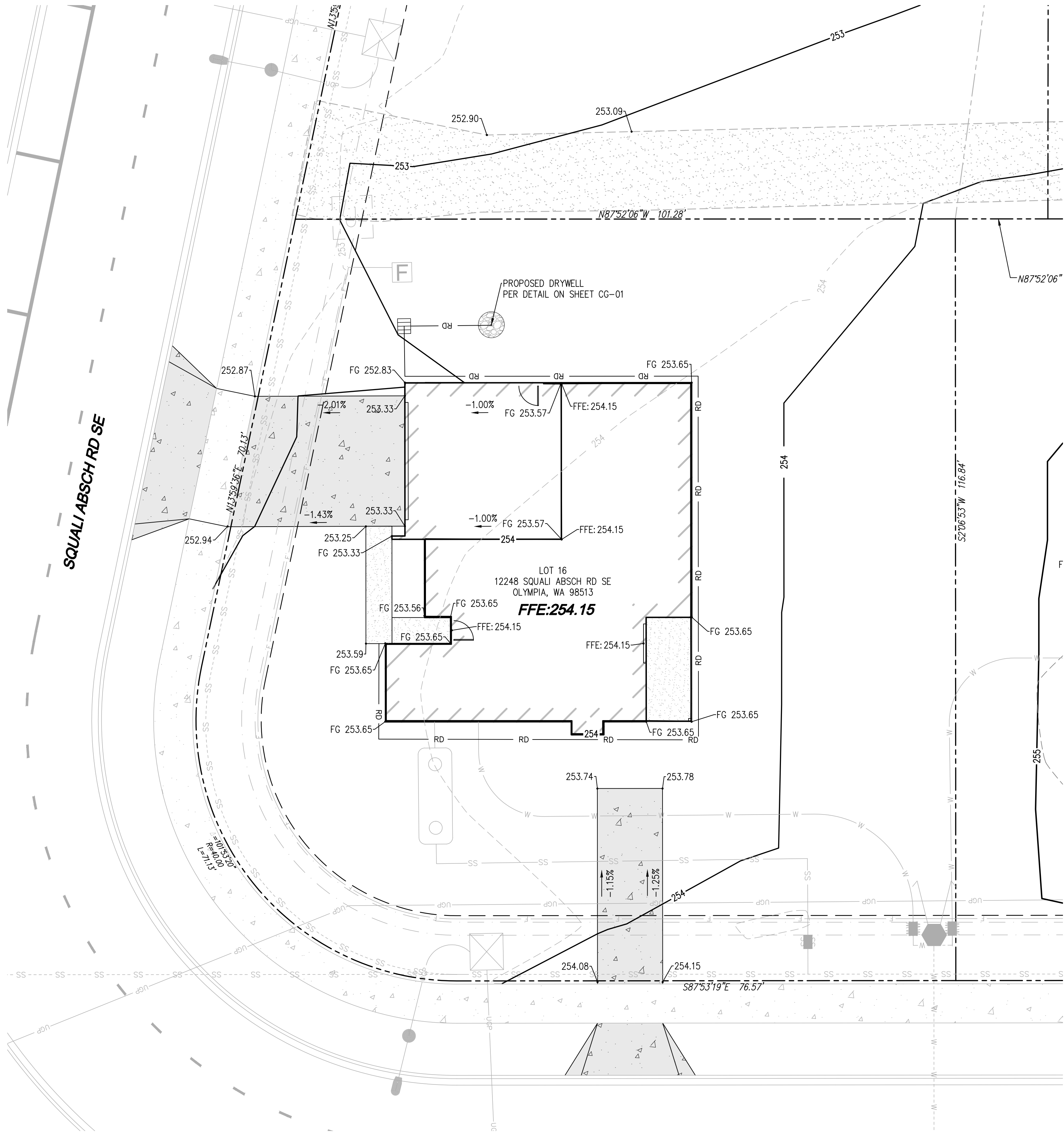
JOB NUMBER: C24-118
DRAWING NAME: C24-118 CG-07
DESIGNER: RW
DRAFTING BY: ES
DATE: NOVEMBER 2025
SCALE: AS SHOWN
JURISDICTION: NISQUALLY, WA

CG-07
SHEET 15 OF 16

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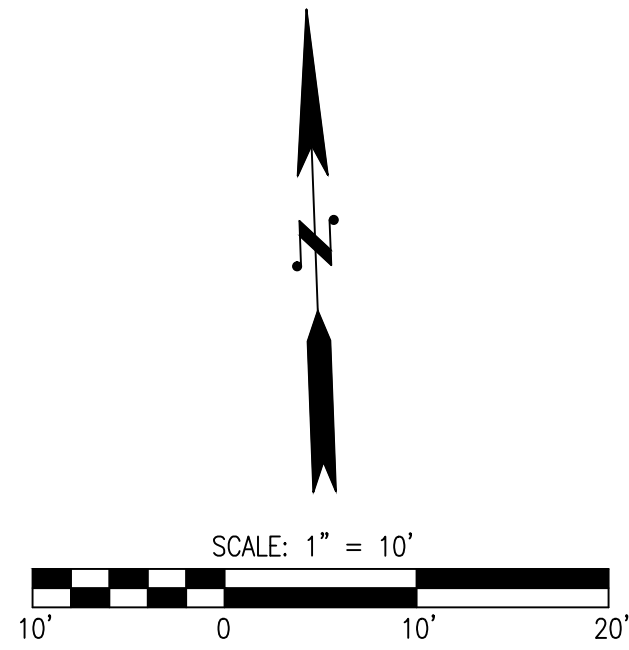
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LEGEND

- XXX.XX SPOT ELEVATION
- X.XX% SLOPE
- XX- EXISTING CONTOURS
- XX- PROPOSED CONTOURS
- RD PROPOSED ASTM D3034 SDR35 PVC ROOF DRAIN LINE
- PROPOSED 6" AREA DRAIN
- PROPOSED DRYWELL PER DETAIL ON SHEET CG-01
- PROPOSED DRAINAGE COURSE

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TS: TOP OF STEP
FFE: FINISH FLOOR ELEVATION

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GOVERNMENT OF NISQUALLY INDIAN TRIBE
**NISQUALLY PROTOCOL HOUSING
DEVELOPMENT PROJECT**
12248 SQUALI ABSCH RD SE SITE PLAN



JOB NUMBER:	C24-118
DRAWING NAME:	C24-118 CG-08
DESIGNER:	RW
DRAFTING BY:	ES
DATE:	NOVEMBER 2025
SCALE:	AS SHOWN
JURISDICTION:	NISQUALLY, WA